

CURRENT REVISION + NOTES

Date: 21.08.23
Description: INITIAL ISSUE

Issue: A
Drawn: DS

DRAFT



PROPOSED DUAL OCCUPANCY (STRATA TITLE)

CLIENT: ROB TATE FAMILY HOMES

STATUS: CONCEPT

LOT No: P. 313 DP No: P. 1265687

STREET ADDRESS: CORYMBIA LOOP, WAUCHOPE, NSW 2444

CWC JOB #: RT_EST 0072

CONTENTS

SHEET #	SHEET NAME	REVISION
0.1	CONCEPT - LEGENDS	A
0.2	CONCEPT - SITE PLAN	A
0.3	CONCEPT - LOWER FLOOR PLAN	A
0.4	CONCEPT - UPPER FLOOR PLAN	A
0.5	CONCEPT - BIRDS EYE & PERSPECTIVES	A



GENERIC | TYPICAL KEY, LEGEND AND ABBREVIATIONS FOR COLLINS W COLLINS ARCHITECTURAL PLANS

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (but is not limited to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTAINERS, DEMOLISHERS. PLEASE USE THIS IN CONJUNCTION WITH ALL DRAWING SHEETS AND VIEWS CONTAINED FORTHWITH IN THIS PLAN SET.

REVISED JANURARY 2021

SYMBOLS AND LINES

SITE PLAN | S68 S138 PLAN

	LOT BOUNDARY
	SEWER LINE
	STORMWATER LINE
	WATER CONNECTION LINE
	DOWNPIPE TO WATER TANK
	DOWNPIPE FROM TANK TO APPLIANCE
	SILTATION CONTROL FENCING
	SITE HOARDING FENCING
	BATTER EXTREMITIES LINE
	EASEMENT BOUNDARY
	OVERHEAD POWER LINES

	FALL OF BATTER SLOPE
	DRIVEWAY SURFACE
	GARDEN TAP
	WATER METER / ALTERNATE WATER METER
	SANDBAG
	TEMPORARY HOARDING GATES
	STREET-TREE / SITE TREE
	LIGHT POLE
	POWER POLE

	ELECTRICAL CUBICLE / PIT
	NBN PIT
	TELECOMMUNICATIONS PIT
	TO BE DEMOLISHED / REMOVED
	DEMOLITION LINE

FLOOR PLANS / SECTIONS (INCL SETOUT, ROOF, DETAIL CALL OUTS)

	OVERHEAD ITEM
	DEMOLITION LINE
	UPPER FLOOR OUTLINE
	ROOF OUTLINE OVER
	RAKED CEILING LINE
	BEAM LINE
	SQUARE SET OPENING
	TERMITE PROTECTION: TO AS 3660.1
	NATURAL GROUND LINE (EXCAVATED)
	COLUMN (MATERIAL AS PER SCHEDULE OR PLAN)
	MASONRY PIER (SIZE AS PER SCHEDULE OR PLAN)
	ENGAGED PIERS: TO COMPLY WITH AS 4773.1-2010 & AS 4773.2-2010
	INSULATION BATTING
	TO BE DEMOLISHED / REMOVED
	EARTH / SOIL

	FILL (TO ENGINEERS DETAIL)
	WET AREA TILED FLOOR SURFACE
	COMMON / OUTDOOR TILED FLOOR SURFACE
	BROOM FINISH CONCRETE FLOOR SURFACE
	MASONRY WALL
	CONCRETE
	TIMBER/METAL STUD FRAMED WALL
	CONCRETE BLOCK WALL
	MASONRY VENEER WALL
	METAL SHEET ROOFING
	KLIP-LOK (OR SIMILAR) METAL SHEET ROOFING
	TILED ROOF
	WAFFLE POD (TO ENGINEERS DETAIL)
	TACTILE GROUND SURFACE INDICATORS: TO AS 1428.4.1-2009
	STAIRS INCLUDING DIRECTION OF TRAVEL (UP)
	RAMP INCLUDING DIRECTION OF TRAVEL (UP)

	GARDEN TAP
	RAINWATER DOWNPIPES: TO AS 3500
	SMOKE ALARMS: SMOKE ALARMS TO AS 3786 AND NCC, VOL. 2, PART H3D6 AND PART 9.5 OF THE ABCB HOUSING PROVISIONS. ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE INDICATIVE. INSTALLATION TO BE AS PER STANDARDS ABOVE, AND MANUFACTURERS SPECIFICATIONS
	MECHANICAL VENTILATION: MECHANICAL VENTILATION EXTERNALLY DUCTED TO COMPLY WITH NCC, VOL. 2, PART H4D7 AND PART 10.6 AND 10.8.2 OF THE ABCB HOUSING PROVISIONS
	SLIDING DOOR UNIT OPENING DIRECTION
	SLIDING WINDOW OPENING DIRECTION
	AWNING/CASEMENT WINDOW OPENING DIRECTION
	HINGED DOOR OPENING DIRECTION
	GAS BOTTLES
	ELECTRICAL METER BOX
	GAS INSTANTANEOUS HOT WATER SERVICE
	HOT WATER TANK
	SOLAR HOT WATER SERVICE
	COOKTOP
	SINK TYPICAL

GENERAL SYMBOLS AND ARCHITECTURAL SYMBOLS

	NORTH
	WINDOW TAG (DA/CC)
	DOOR TAG (DA/CC)
	TYPICAL SECTION MARKER
	TYPICAL ELEVATION MARKER
	TYPICAL CALL OUT MARKER
	VIEW TAG AND SCALE

RENOVATION / DEMOLITION SYMBOLS

	TO BE DEMOLISHED OR REMOVED
	EXISTING ITEM / ELEMENT (FLOOR/WALLS/WINDOWS ETC)
	PROPOSED NEW ITEM / ELEMENT
	TO BE DEMOLISHED OR REMOVED
	EXISTING AREA / FACADE / ROOM

MULTI STOREY SITE PLAN SYMBOLS / LEGEND

	LOWEST FLOOR (GROUND TYPICAL)
	MIDDLE FLOOR
	UPPER FLOOR

GENERAL ABBREVIATIONS

ARI AVERAGE RECCURANCE INDEX	F FIXED GLASS / PANEL	PB PLASTER BOARD
AHD AUSTRALIAN HEIGHT DATUM	FG FIXED GLASS WINDOW	RET. WALL RETAINING WALL
CLT CROSS LAMINATED TIMBER	GLT GLUE LAMINATED TIMBER	RC REINFORCED CONCRETE
COL. COLUMN	GTAP GARDEN TAP	PV PHOTOVOLTAIC
COW COST OF WORKS	GPO GENERAL POWER OUTLET	RL REDUCED LEVEL
DCP DEVELOPMENT CONTROL PLAN	GRG GARAGE	SB SUB ELECTRICAL METER BOX
DEG. DEGREES	HWS HOT WATER SERVICE	SL SURFACE LEVEL
DGPO DOUBLE GENERAL POWER OUTLET	LEP LOCAL ENVIRONMENT PLAN	SW STORM WATER
DH DOUBLE HUNG WINDOW	LOH LIFT OFF HINGE	TRH TOILET ROLL HOLDER
DP RAINWATER DOWNPIPE	LVL LAMINATED VENEER LUMBER	T.O.K TOP OF KERB
DTR DOUBLE TOWEL RAIL	MECH. MECHANICAL	T.O.W TOP OF WALL
HWS HOT WATER SERVICE	MB ELECTRICAL METER BOX	WC WATER CLOSET
FC FIBRE CEMENT	MR MOISTURE RESISTANT	1650B BATH SIZING
F.S.L FINISHED SURFACE LEVEL	MH MAN HOLE	900V VANITY SIZING
	NGL NATURAL GROUND LINE	820 INTERIOR DOOR SIZING



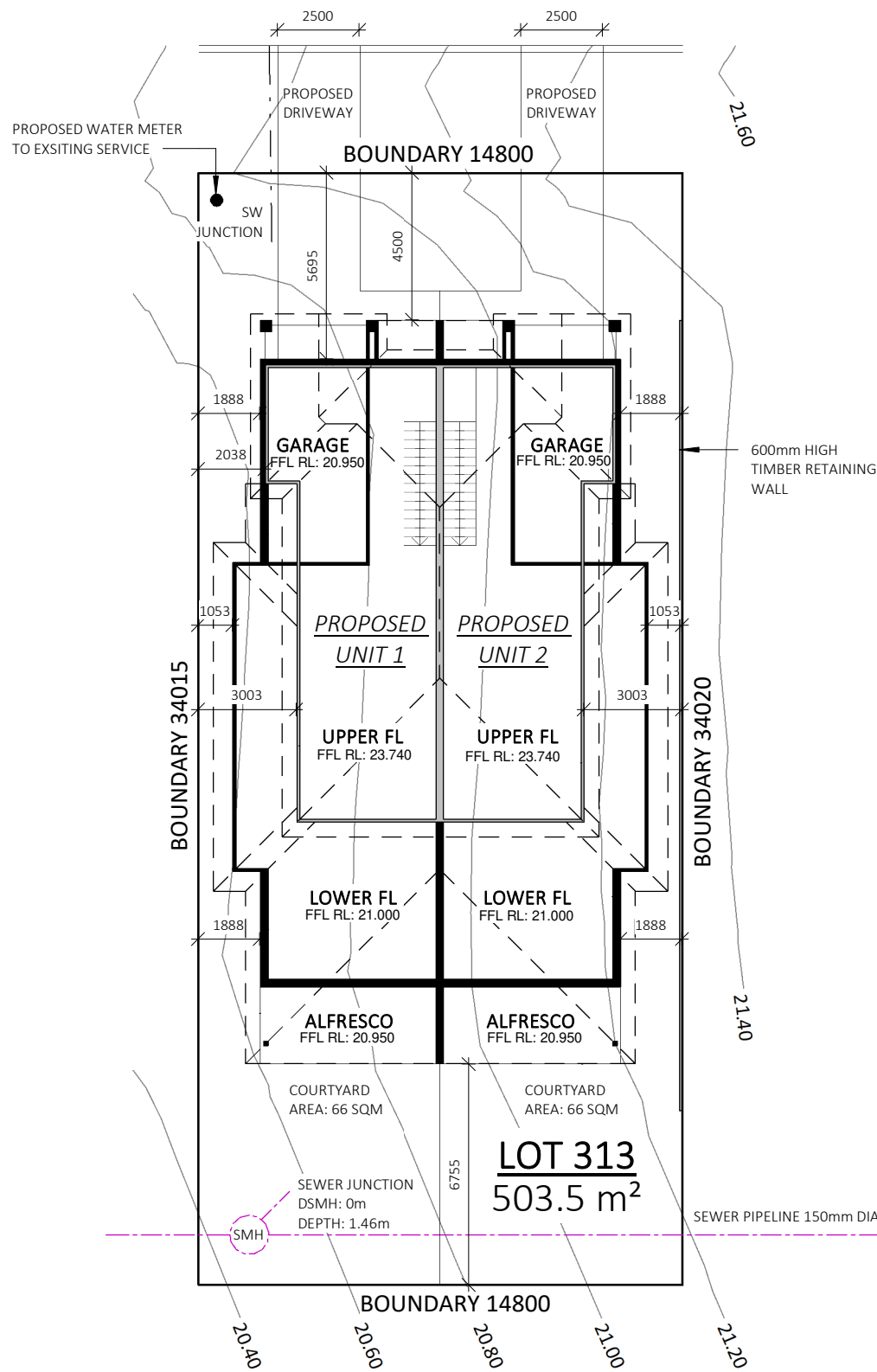
PROJECT: PROPOSED DUAL OCCUPANCY (STRATA TITLE)		CONCEPT - LEGENDS		DRAWING REVISION & NOTES			
STATUS: CONCEPT		SHEET: 0.1 OF 0.5		Date:	Description:	Issue:	Drawn:
LOT No: P. 313 DP No: P. 1265687		STREET ADDRESS: CORYMBIA LOOP, WAUCHOPE, NSW 2444		21.08.23	INITIAL ISSUE	A	DS
CLIENT: ROB TATE FAMILY HOMES		SCALE:	1 : 100				
		SHEET SIZE:	A3				
		START DATE:	09.05.2023				
		DWG No:	0072				

SITE INFORMATION

SITE AREA: = 503.5m²
 BUSHFIRE AFFECTED: YES
 FLOOD AFFECTED: NO

NOTE: SITE BOUNDARIES ARE INDICATIVE ONLY AND FINAL SITE BOUNDARIES TO BE COMPLETED FROM DEPOSITED PLAN OR SURVEY
 NOTE: CONTOURS AND SPOT LEVELS ARE INDICATIVE ONLY AND FINAL SITE LEVELS COMPLETED BY A REGISTERED SURVEYOR IS RECOMMENDED.
 NOTE: ALL SERVICE LOCATIONS ARE INDICATIVE ONLY. LOCATIONS PLOTTED FROM COUNCIL RECORDS.

CORYMBIA LOOP



DRAFT



SITE PLAN

1 : 200

LINE TYPES

—	LOT BOUNDARY
- - -	ADJACENT LOT BOUNDARY
- · - · -	EASEMENT BOUNDARY
— · — · —	SEWER LINE
- · - · -	STORMWATER LINE
- · - · -	WATER LINE
- · - · -	OVERHEAD POWER LINES
—	ROADWAY/KERB

EXTERNAL FINISHES

LABEL	MATERIAL DESCRIPTION
FBW	SELECTED FACE BRICK
PRM	JAMES HARDIE 300mm PRIMELINE WEATHERBOARD

PROPOSED UNIT 1 | PROPOSED UNIT 2



FACADE ELEVATION

1 : 100

BUSHFIRE NOTES:

PLEASE REFER TO BUSHFIRE REPORT BY S & K JOHNSON CONSTRUCTIONS PTY LTD (KRISANN JOHNSON) REF: XXXXXX AND CONSTRUCTED IN ACCORDANCE WITH AS 3959-2018: CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

BASIX NOTES:

PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON PAGE 2 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATE FOR EXACT DETAILS

GENERAL PLAN SET NOTES:

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS

BAL - TBC



PROJECT: PROPOSED DUAL OCCUPANCY (STRATA TITLE)

STATUS: CONCEPT

LOT No: P. 313 DP No: P. 1265687

STREET ADDRESS: CORYMBIA LOOP, WAUCHOPE, NSW 2444

CLIENT: ROB TATE FAMILY HOMES

SHEET: 0.2 OF 0.5

CONCEPT - SITE PLAN

SCALE: As indicated

SHEET SIZE: A3

START DATE: 09.05.2023

DWG No: 0072

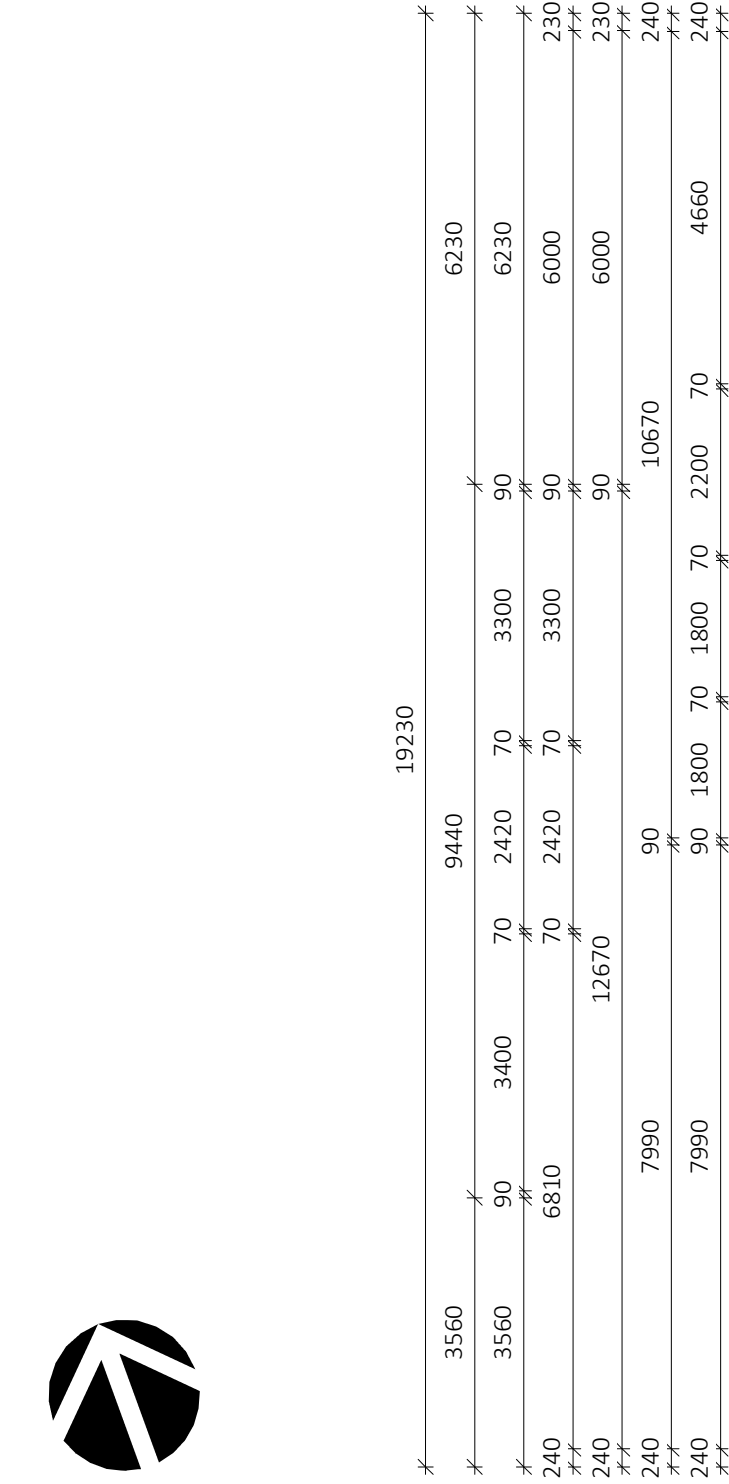
DRAWING REVISION & NOTES

Date:	Description:	Issue:	Drawn:
21.08.23	INITIAL ISSUE	A	DS

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AREAS - FLOOR - UNIT 2	
*FLOOR AREA MEASURED FROM EXTERNAL FACE	
*UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS	
NAME	AREA
U2 LWR FLOOR AREA	93.7 m ²
U2 GARAGE AREA	20.2 m ²
U2 PORCH AREA	2.7 m ²
U2 ALFRESCO AREA	12.9 m ²
U2 UPR FLOOR AREA	59.0 m ²
U2 BALCONY AREA	4.1 m ²
TOTAL	192.6 m ²

AREAS - ROOF AREAS - UNIT 2	
NAME	AREA
U2 ROOF AREA	146.3 m ²
TOTAL	146.3 m ²

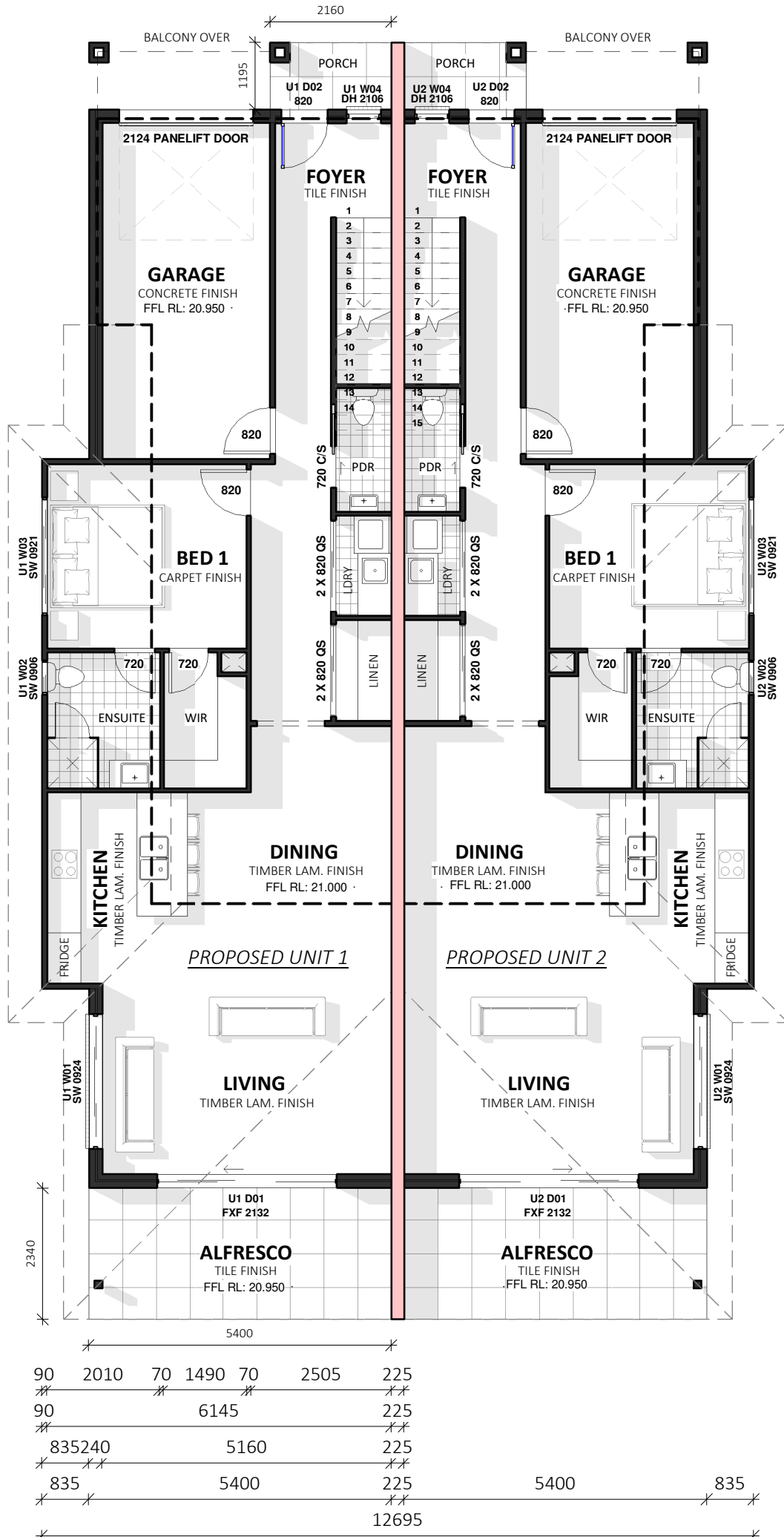
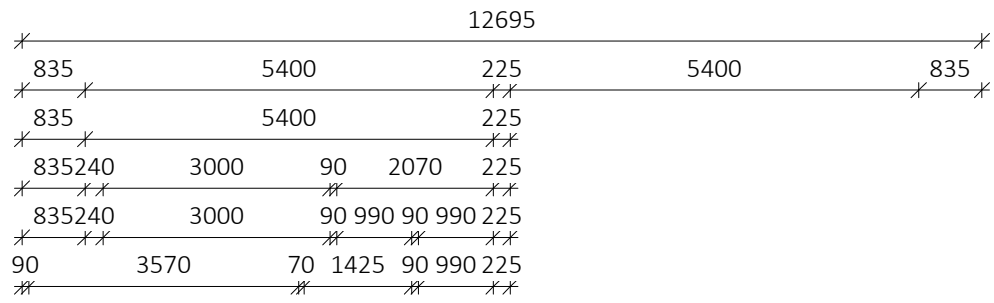


OVERALL FLOWER FLOOR PLAN

1 : 100

AREAS - FLOOR - UNIT 1	
*FLOOR AREA MEASURED FROM EXTERNAL FACE	
*UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS	
NAME	AREA
U1 LWR FLOOR AREA	93.7 m ²
U1 GARAGE AREA	20.2 m ²
U1 PORCH AREA	2.7 m ²
U1 ALFRESCO AREA	12.9 m ²
U1 UPR FLOOR AREA	59.0 m ²
U1 BALCONY AREA	4.1 m ²
TOTAL	192.6 m ²

AREAS - ROOF AREAS - UNIT 1	
NAME	AREA
U1 ROOF AREA	146.3 m ²
TOTAL	146.3 m ²



BUSHFIRE NOTES:

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BAL - TBC

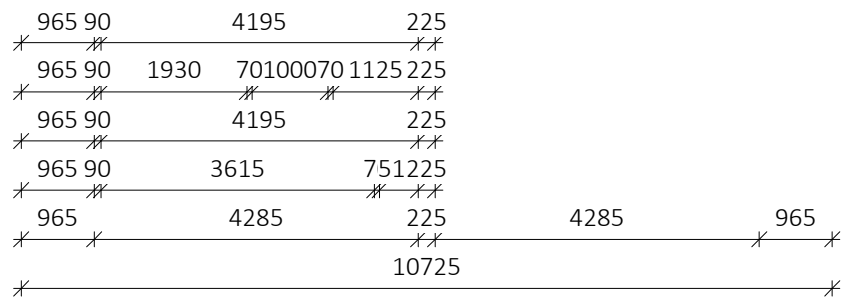
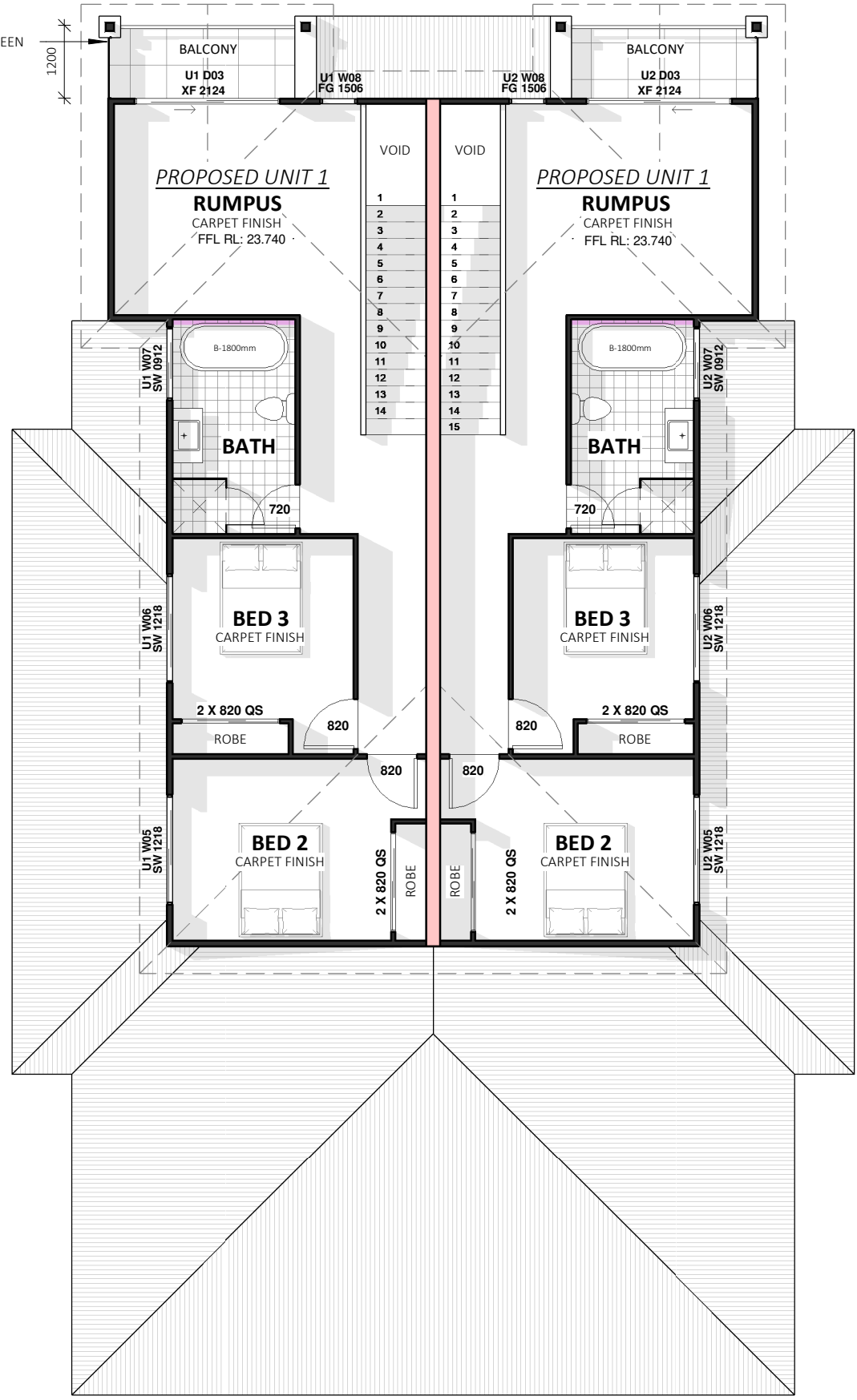
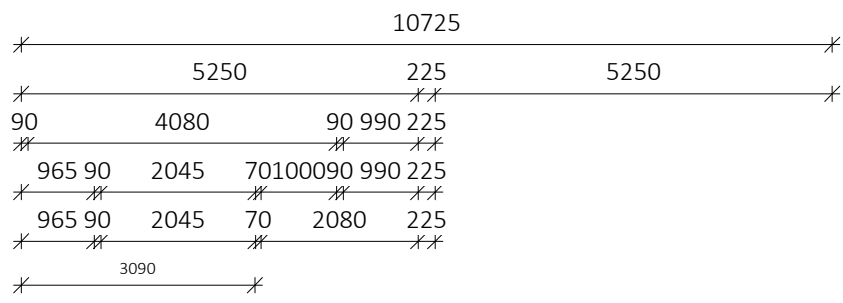
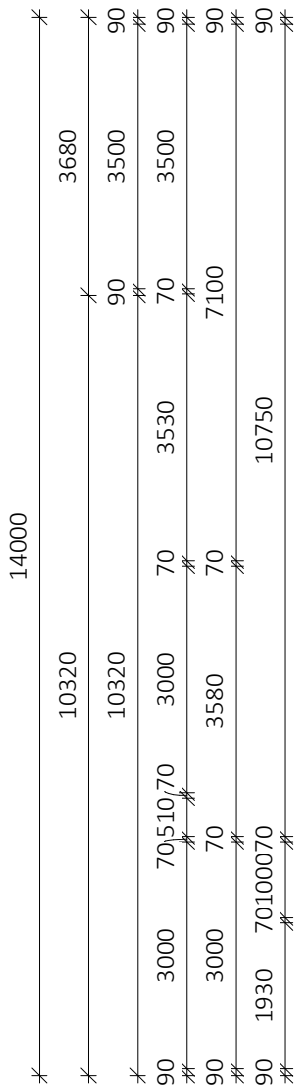


PROJECT: PROPOSED DUAL OCCUPANCY (STRATA TITLE)	CONCEPT - LOWER FLOOR PLAN	DRAWING REVISION & NOTES	
STATUS: CONCEPT		Date: 21.08.23	Description: INITIAL ISSUE
LOT No: P. 313 DP No: P. 1265687	SHEET: 0.3 OF 0.5	Issue: A	Drawn: DS
STREET ADDRESS: CORYMBIA LOOP, WAUCHOPE, NSW 2444	SCALE: 1 : 100		
CLIENT: ROB TATE FAMILY HOMES	SHEET SIZE: A3		
	START DATE: 09.05.2023		
	DWG No: 0072		

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AREAS - FLOOR - UNIT 2	
*FLOOR AREA MEASURED FROM EXTERNAL FACE	
*UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS	
NAME	AREA
U2 LWR FLOOR AREA	93.7 m ²
U2 GARAGE AREA	20.2 m ²
U2 PORCH AREA	2.7 m ²
U2 ALFRESCO AREA	12.9 m ²
U2 UPR FLOOR AREA	59.0 m ²
U2 BALCONY AREA	4.1 m ²
TOTAL	192.6 m ²

AREAS - ROOF AREAS - UNIT 2	
NAME	AREA
U2 ROOF AREA	146.3 m ²
TOTAL	146.3 m ²



OVERALL UPPER FLOOR PLAN

1 : 100

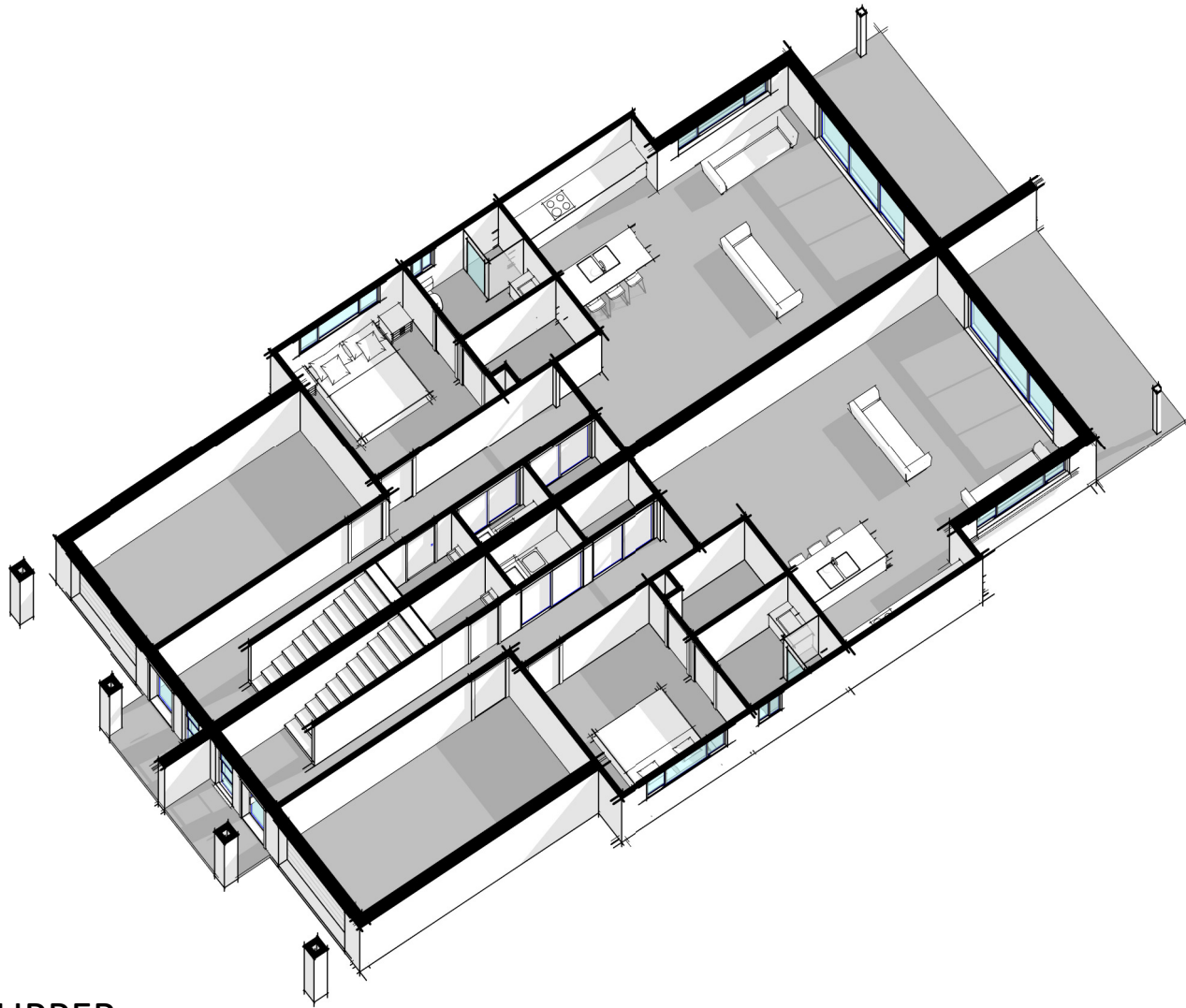
AREAS - FLOOR - UNIT 1	
*FLOOR AREA MEASURED FROM EXTERNAL FACE	
*UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS	
NAME	AREA
U1 LWR FLOOR AREA	93.7 m ²
U1 GARAGE AREA	20.2 m ²
U1 PORCH AREA	2.7 m ²
U1 ALFRESCO AREA	12.9 m ²
U1 UPR FLOOR AREA	59.0 m ²
U1 BALCONY AREA	4.1 m ²
TOTAL	192.6 m ²

AREAS - ROOF AREAS - UNIT 1	
NAME	AREA
U1 ROOF AREA	146.3 m ²
TOTAL	146.3 m ²

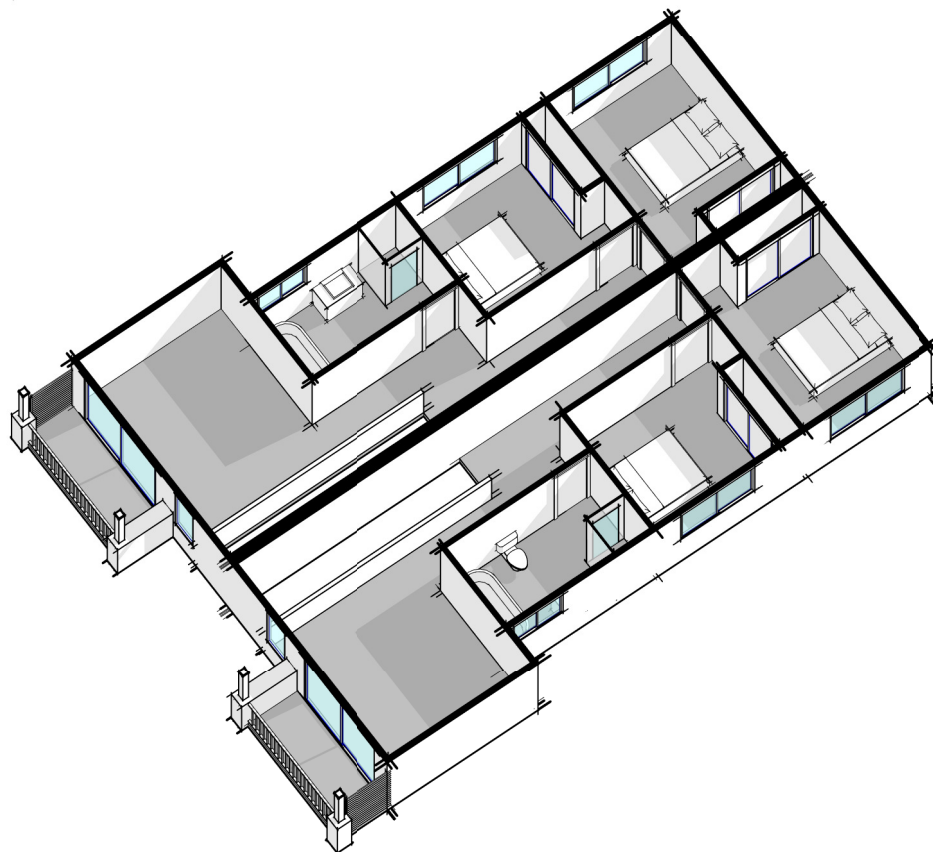
<p>BUSHFIRE NOTES:</p> <p>BAL - TBC</p> <p>PLEASE REFER TO BUSHFIRE REPORT BY S & K JOHNSON CONSTRUCTIONS PTY LTD (KRISANN JOHNSON) REF: XXXXXX AND CONSTRUCTED IN ACCORDANCE WITH AS 3959-2018: CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS</p>	<p>BASIX NOTES:</p> <p>PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON PAGE 2 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATE FOR EXACT DETAILS</p>	<p>GENERAL PLAN SET NOTES:</p> <p>CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS</p>
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	PROJECT: PROPOSED DUAL OCCUPANCY (STRATA TITLE)	CONCEPT - UPPER FLOOR PLAN	DRAWING REVISION & NOTES		
	STATUS: CONCEPT	SHEET: 0.4 OF 0.5	Date: 21.08.23	Description: INITIAL ISSUE	
	LOT No: P. 313 DP No: P. 1265687	STREET ADDRESS: CORYMBIA LOOP, WAUCHOPE, NSW 2444	SCALE: 1 : 100	Issue: A	Drawn: DS
	CLIENT: ROB TATE FAMILY HOMES	DWG No: 0072	START DATE: 09.08.2023		

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AERIAL 3D - UPPER



AERIAL 3D - LOWER



PROJECT: PROPOSED DUAL OCCUPANCY (STRATA TITLE)		CONCEPT - BIRDS EYE & PERSPECTIVES		DRAWING REVISION & NOTES			
STATUS: CONCEPT				Date:	Description:	Issue:	Drawn:
LOT No: P. 313	DP No: P. 1265687	SHEET: 0.5 OF 0.5	SCALE:	21.08.23	INITIAL ISSUE	A	DS
STREET ADDRESS: CORYMBIA LOOP, WAUCHOPE, NSW 2444			SHEET SIZE: A3				
CLIENT: ROB TATE FAMILY HOMES			START DATE: 09.05.2023				
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